



Guidelines for Building Works

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General Terms and Conditions

The general terms and conditions stated herein apply to renovation carried out in HDB flats. These general terms and conditions are in addition to the technical conditions, which have been set out for governing building work and sanitary work.

When is a Permit Required?

- 1 Certain types of renovation (hereinafter referred to as the "Work" and which shall be taken to mean alteration and addition work) to the flat can only be carried out with HDB's prior written approval. Such approval is given in the form of a permit before the commencement of the Work.
- 2 Failure to obtain the permit will mean that the Work is unauthorized and HDB shall be entitled to require the owner to reinstate his premises to its original condition.
- 3 Examples of the common types of Work which require HDB's approval and a permit are set out in the guidelines prescribed by HDB governing building work and sanitary work in HDB flats.
- 4 For special precincts (eg. DBSS flats) with unique designs and special features, flat owners must comply with some additional specific renovation guidelines pertaining to their precincts. Flat owners can view the specific renovation guidelines on the HDB InfoWEB under "My HDBPage".

- 5 The flat owner is required to open a Utilities Account (ie. water and electricity) of his new flat with SP Services Ltd before a renovation permit is granted.
- 6 For renovation items which do not require a permit, you are required to comply with the guidelines/conditions governing the items as set out in the guidelines for building and sanitary work in HDB flats.
- 7 If the work does not comply with the guidelines/conditions stated, it is treated as unauthorised work and HDB has the authority to ask you to remove and reinstate your premises to its original condition or that of the guidelines/conditions stated.
- 8 Where renovation items are not reflected in the renovation guide or where the measurement and technical details of the proposed work deviate from that stated in the renovation guide, flat owners are required to seek HDB prior approval before commencement of works.
- 9 The flat owner shall strictly observe and adhere to the terms and conditions, technical conditions and guidelines issued by HDB for such Work.
- 10 If the flat owner fails to do so, HDB shall be entitled to revoke the permit granted for the Work, the flat owner shall be required to reinstate his premises to its original condition.

Time Allowed for Renovation

1. For new blocks, the approved work must be completed within 3 months from the date of the permit.
2. For existing blocks, the approved work must be completed within 1 month from the date of the permit.
3. No Work shall be carried out before 8.00 am and after 6.00 pm.
4. Noisy Works such as cutting of tiles, demolition of walls and removing floor/wall finishes are restricted to between 9.00 am and 5.00 pm during the weekdays. Such work are not allowed on Saturdays, Sundays and Public Holidays.
5. At any one time, only two of the approved hand-held power tools or their approved equivalents are allowed to be used.
6. Renovation contractors are not allowed to take more than three consecutive days to demolish walls and/or remove wall and/or floor finishes.

Payments and Charges

1. The flat owner shall engage his own HDB registered renovation contractor for the approved Work and bear all charges and cost thereof. HDB is not a party to such a private agreement. He shall at all times settle his disputes with the contractor without reference to HDB.
2. The flat owner shall pay for the haulage and debris removal services provided by the Town Council, where applicable.

Supervision

Execution of Work

1. The flat owner is responsible for the renovation in his flat. He must ensure that the Work carried out by his registered renovation contractor is according to HDB's requirements.
2. After getting the permit from HDB, the flat owner and his registered renovation contractor must display the Notice of Renovation outside the flat until all the renovation is completed.
3. Flat owners are advised not to carry out any Do-It-Yourself (DIY) works involving drilling and

hammering from 10.30pm to 7.00am as such works generate some amount of noise which may cause disturbance to their neighbours. If flat owners are unable to keep within these limits, they should inform their neighbours beforehand.

Haulage of Renovation Materials and Removal of Renovation Debris

1. Where haulage and debris removal services are provided, the renovation debris shall be placed neatly (so as to cause no obstruction) in the common area in front of the flat owner's flat or such part as Town Council shall direct for disposal by the Town Council.
2. Where only the debris removal service is provided, the renovation debris shall be packed in gunny or polythene sacks and deposited at designated sites on the ground level for disposal by the Town Council.
3. The flat owner shall ensure that his registered renovation contractor removes the debris to the dumping ground if the Town Council does not provide the debris removal service.
4. The flat owner or his registered renovation contractor shall not throw the renovation debris down the refuse chute or wash it down the w.c. squat pan or floor trap. If choke occurs, the owner or his contractor shall at his own expense clear the blockage.
5. The flat owner or his registered renovation contractor shall not discharge or allow the discharge of waste water, terrazzo slime or any building debris into the sewage system, onto the staircase and/or the passageway.

Approval and Supervision by Other Authorities

1. Prior written approval must be obtained from Power Gas Pte Ltd and SP Services Ltd for any alterations or extensions of the gas service pipes and for electrical installation and alterations respectively.
2. The flat owner and the appointed HDB Registered Renovation Contractor shall at all times fully comply with any law, by-law, rules and regulations governing the Works and any related matters made by other Competent Authorities including but not limited to Ministry of Manpower (MOM), Building Control Authority (BCA), Urban Redevelopment Authority (URA), The Fire Safety and Shelter Department (FSSD), National Environment Agency (NEA), Public Utilities Board (PUB), Energy Market Authority (EMA).
3. For handling of hazardous substances, the appointed HDB Registered Renovation Contractor must fully comply with all existing legislative requirements, and put in place reasonably practicable measures to ensure that the safety and health of workers and residents (including members of public) are not adversely affected by the Work.
4. HDB and the Town Council reserve the right to control and give directions in the course of the Work.

Indemnity

1. The flat owner shall indemnify and keep HDB indemnified at all times against all claims and proceedings for any damage or destruction of property, injury or death of any person, costs and expenses whether or not due to any act neglect or default and howsoever arising from, in connection with or consequent to the execution of the Work.
2. The flat owner shall further indemnify and keep HDB indemnified at all times against any losses, costs, charges, expenses, and damages which may be incurred or payable by HDB whether or not due to any act neglect or default and due to, arising from or in connection with the execution of the Work.

Variation of Terms and Conditions

1. HDB reserves the right to vary the terms and conditions herein contained as and when it deems fit. Any approval granted shall be subject to the prevailing terms and conditions as varied by HDB from time to time.

2. The flat owner shall observe and comply with such other rules and regulations as HDB and the Town Council may from time to time make in relation to the execution of the Work in HDB flats.

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Technical Terms and Conditions

Floor

1. Prepacked waterproofing screed and waterproofing membrane must be used in bathroom/toilets before laying of new floor finishes. Membrane should be upturned (min. 150mm) against the walls, kerbs and pipes.
2. For kitchen and open balcony, prepacked waterproofing screed must be used before laying of new floor finishes and waterproofing membrane must be provided around the sanitary stacks for an area of a radius 400mm.
3. UPVC floor trap grating with long collar at the floor traps must be used when carrying out replacement of floor finishes.
4. Flat owner and registered renovation contractor are advised to conduct a water test to bathroom/toilet upon completing the replacement of floor finishes.

Wall

Flats with Ferrolite Partition Walls

Some new flats are installed with Ferrolite Partition Wall. This is a more eco-friendly partition wall system which functions as a typical partition wall for the bedrooms. These walls comprise 2 concrete panels with a sound insulation core and are connected to the ceiling or beam using steel angle plates. Any renovation that requires removal and hacking of such walls must be carried out by an HDB Registered Renovation Contractor and with HDB's prior approval.


It is important for flat owners and their contractors to take note of the Dos and Don'ts when carrying out works such as installing shelves, wall cabinets and other fixtures on these partition walls.

When installing shelves, wall cabinets and other fixtures

The Ferrolite Partition Wall can withstand up to a maximum of 50kg per bolt depending on the type of anchor bolts used. Flat owners/Contractors must ensure that appropriate type of anchor bolt is used when installing heavy objects such as wall mounted cupboards and cabinets. The overall length for any bolts used for installation shall not exceed 50mm long. Adequate support must be provided if the loads are heavier than 50kg. Take care not to damage any concealed electrical cables.

The following are some recommended types of anchor bolt:

Type of Anchor bolts	Max Load	Example
Steel Cavity Anchor	Max 20kg per bolt	

<p>M10 Galvanised anchor rod with compatible Mesh sleeves and injection Mortar</p>	<p>Max 50kg per bolt</p>	
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Note:

- a. The minimum spacing for bolts installation shall not deviate from the manufacturer’s requirement
- b. Method of installation for the fixture should be as stated and recommended in the Manufacturer’s Specifications and Guidelines

Exercise Care during Drilling

When carrying out drilling works, it is important not to drill holes within 200mm vertically below ceiling or beam (Strip A) to avoid damaging the connecting angle plates. Care should also be taken when drilling within the 200mm strip at the middle of the wall (Strip B) to prevent damaging the connecting steel plates. (Please see Figure 1 below)

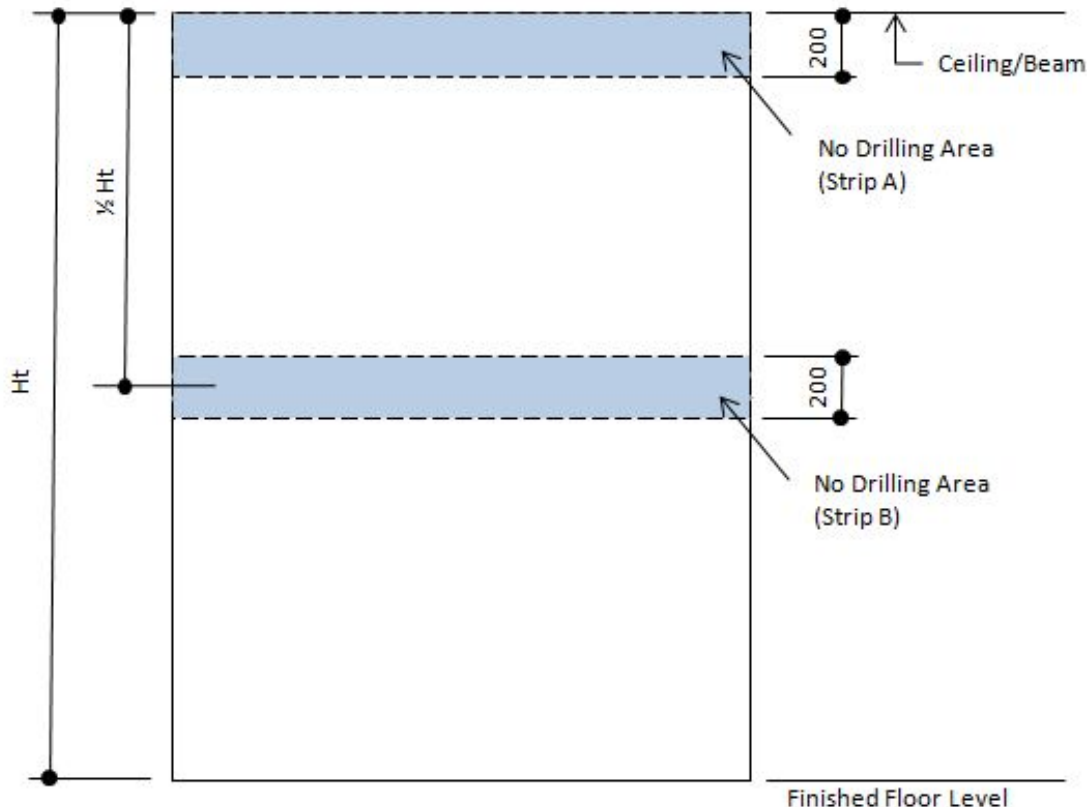


Figure 1. Front view of Ferrolite Wall

As there is a sound insulation core in the Ferrolite Partition Wall, it is important not to use excessive force when carrying out drilling works on the partition wall. To prevent damage to the panel on the

other side of the panel, the drill penetration depth must be limited to about 22mm. (Please see Figure 2 below)

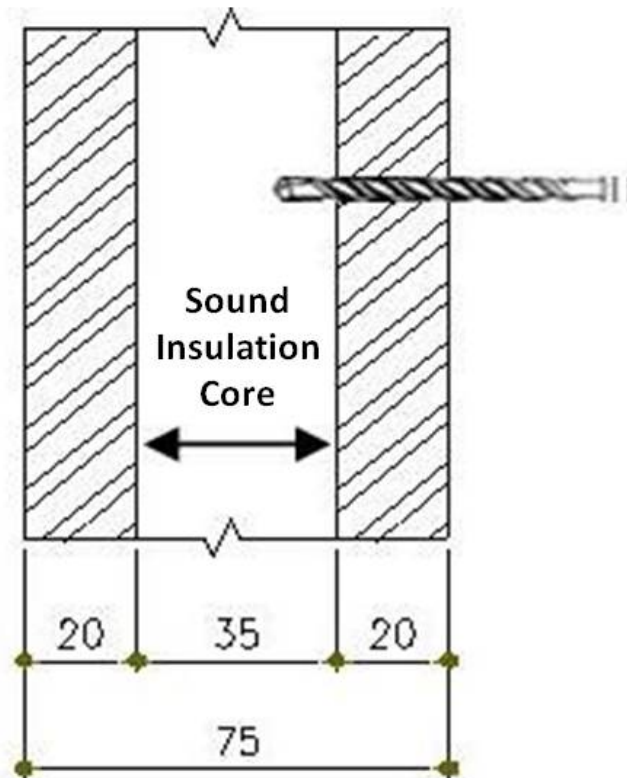


Figure 2. Cross Sectional View

For flats with concealed electrical wiring originally provided by HDB, please also refer to the [sketch drawing 1](#) (drilling of holes with concealed electrical wiring) before carrying out drilling works on the walls.

Construction of Opening at Party Wall between two Flats

In the event of a written demand by HDB or the transfer by the flat owner of his interests in the flat, the owner shall at his own costs and expense reinstate the party wall between the flats to the original position within one month from the date of the letter of demand or before the completion of the transfer of the flat, whichever is earlier.

DBSS Flats Provided with Concealed Gas Pipes

For DBSS flats where developers had provided concealed gas pipes, precautionary measures should be taken prior to any drilling to the wall.

1. The as-built layout plan provided by the developer should only be used as a guide
2. Flat owner/registered renovation contractor are advised to engage a Licensed Gas Service Technician to confirm the exact location of the concealed gas pipes before carrying out the work
3. Any ramsets/nails/screws should be located away from the concealed gas pipes

Window

From 1 Oct 2004, only BCA approved window contractors are allowed to carry out installation/replacement of windows in HDB flats. Flat owners and the approved window contractors are to comply with the minimum safety requirements when carrying out the installation/replacement of windows in HDB flats. Please view the details of the [minimum safety requirements for installation/replacement of windows](#) in HDB flats.

Window Grilles on Recessed Window Ledges

The flat owner is fully responsible for:

1. The cleanliness of the space between the window grilles and the sliding window.
2. Proper installation, stability and maintenance of the window grilles.

Refuse Chute

Alteration to Refuse Chute Hopper

Without prejudice to Clause 6 of the General Terms and Conditions, if leakage through walls occurs after the modification, the flat owner shall rectify the defect at his own expense.

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3-year restriction period on removal of toilets wall and floor finishes

The toilets in your flat come with wall and floor finishes. As the toilets are designed to be wet areas, a waterproofing membrane has been laid on the cement screed before laying the floor finishes. This is to prevent water from leaking through the ceiling of the flat immediately below your flat.

Hence, flat owners are not allowed to replace the toilet floor and wall finishes provided by HDB/developer for a period of 3 years. Flat owners may however lay new toilet floor finishes over the existing floor finishes using adhesives.

The 3-year restriction period will commence from the completion date of the block.

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Bathroom/Toilet

Types of Building Work	Need Permit?	Subject to the Following Guidelines/ Conditions
Construction of cement mortar kerb not exceeding 100mm in height and 100mm width in bathroom/toilet	No	Not applicable.
Enlargement of bathroom/toilet after first three years upon completion of block	Yes	<ul style="list-style-type: none"> Maximum width and area of extension ▪ Must not be more than 600 mm and 0.6 m² respectively and ▪ Can only be used as a "dry area"

		<ul style="list-style-type: none"> ▪ For example, for installation of wash basin or shelves ▪ The existing gas riser and it's branch pipe must not become enclosed in the extended bathroom/toilet
Replacement of bathroom/toilet vent	Yes	<p>For glass louvres:</p> <ul style="list-style-type: none"> ▪ Minimum glass thickness not less than 6mm ▪ Wire-glass type <p>For glass louvres safety device:</p> <ul style="list-style-type: none"> ▪ Aluminium U-channel cleat at every glass louvre

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Floor Finishes

Types of Building Work	Need Permit?	Subject to the Following Guidelines/ Conditions
Laying of vinyl tile/carpet/linoleum	No	Not applicable.
Replacement of ceramic, homogeneous, terrazzo, marble, parquet/timber flooring or other tiles	Yes	<p>Total thickness of floor finishes and screed must not exceed 50 mm.</p> <p>To use the prepacked waterproofing screed and waterproofing membrane in bathroom/toilets before laying new floor finishes. Membrane should be upturned (min. 150 mm) against the walls, kerbs and pipes.</p> <p>To use prepacked waterproofing screed for kitchen and open balcony before laying of new floor finishes. The waterproofing membrane with upturn (min. 150 mm) is required only around the sanitary stacks for an area of a radius 400 mm.</p> <p>To use UPVC floor trap grating with long collar at the floor traps.</p>
Laying of floor finishes on bare (rough) concrete surface provided by HDB.	No	<p>Floor finishes must be laid on bare (rough) concrete surface provided by HDB</p> <ul style="list-style-type: none"> ▪ There must not have an existing cement screed originally provided by HDB <p>Total thickness of floor finishes and screed must not exceed 50 mm.</p>
Laying/replacement of parquet/timber flooring (also known as laminated or bamboo flooring)	No	<p>For Flats with existing Floor Finishes</p> <p>The laying of flooring over existing finishes should not involve the following:</p> <ul style="list-style-type: none"> ▪ Raising the floor as a platform ▪ Usage of cement screed

		<ul style="list-style-type: none"> ▪ Hacking/removal of existing floor finishes <p>For Flats without existing Floor Finishes The total thickness of floor finishes and screed must not exceed 50 mm.</p>
Replacement of existing bathroom/toilets floor finishes after first three years from the date of completion of the block.	Yes	<p>Total thickness of finishes and screed must not exceed 50 mm.</p> <p>To use prepacked waterproofing screed and waterproofing membrane before laying new floor finishes. Membrane should be upturned (min. 150 mm) against the walls, kerbs and pipes.</p> <p>To use UPVC floor trap grating with long collar at the floor traps.</p>
Laying of floor finishes over existing floor finishes using adhesive only	No	<p>There should be only 1 layer of existing floor finishes including cement screed (i.e. the existing layer of floor finishes is not the second layer) before proceeding to lay the additional layer of floor finishes.</p> <p>The thickness of the floor finishes inclusive of the adhesive must not exceed 13mm.</p>
Laying of floor finishes to risers and treads of steps at recess entrance and internal surface of parapet of the steps	No	<p>Existing risers and tread finishes or cement screed must be removed.</p> <p>Total thickness of tread finishes and screed must not exceed 50 mm.</p> <p>Total thickness of riser finishes and screed must not exceed 25 mm.</p> <p>No tampering of existing structures is allowed.</p>
Installation of hardwood platform on floor	No	<p>Recommended room height to be minimum of 2.4 metres.</p> <p>The void between timber joists beneath platform must not be sealed with cement/other materials.</p> <p>No storage is allowed in the void within the platform and floor.</p> <p>The side of the platform must be sealed.</p> <p>To maintain a minimum 1 metre safety barrier height from top of platform to window sill/parapet.</p>
Topping up of flooring using	Yes	The material used for the in-filled must be

light weight screed/block at balcony/kitchen/bathroom/toilet	<p>non-combustible.</p> <p>Existing floor finish including cement screed must be removed.</p> <p>Overall loading onto existing floor shall not exceed 120kg/m² (i.e. proposed in-filled material + floor finishes).</p> <p>Maintain a minimum parapet/window sill height of 1000mm measured from finished floor level (if applicable).</p> <p>To use UPVC floor trap grating with long collar at floor traps.</p> <p>For kitchen and open balcony, prepacked waterproofing screed must be used before laying of new floor finishes. The water proofing membrane with an upturn of minimum 150mm from finished floor level is required only around the sanitary stacks for an area of a radius 400mm.</p> <p>For bathroom/toilet, prepacked waterproofing screed and water proofing membrane must be used before laying of new floor finishes. Membrane should be upturned (minimum 150mm from finished floor level) against the walls, kerbs and pipes.</p>
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Wall Finishes

Types of Building Work	Need Permit?	Subject to the following Guidelines/ Conditions
Wall paper, cement and sand plastering, gypsum plastering, rockstone finish, spray painting	No	Not applicable.
Solid timber/mirror wall panel	No	Power-driven nails or screws used must not exceed 6 mm in diameter and 40 mm in penetration depth.
Laying of wall finishes over existing wall finishes using adhesive method	No	<p>No tampering of existing structures and wall finishes.</p> <p>The thickness of the wall finishes used must not exceed 13 mm.</p> <p>Laying of third layer wall finishes is not allowed</p>
Replacement of internal wall	Yes	No tampering of existing structures is

finishes up to ceiling level		allowed. Total thickness of the wall finishes including cement screed must not be exceed 25 mm.
Laying of wall finishes on bare concrete surface provided by HDB up to ceiling height	No	No tampering of existing structures is allowed Surface of reinforced concrete wall is not allowed to be hacked to form key for tiling <ul style="list-style-type: none"> ▪ Spatterdash or other equivalent shall be used to form key for tiling Total thickness of the wall finishes including cement screed must not exceed 25 mm
Replacement of existing bathroom/toilets wall finishes after first three years from the date of completion of the block	Yes	No tampering of existing structures is allowed. Total thickness of the wall finishes including cement screed must not be exceed 25 mm.

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Sold Recess Area

Types of Building Work	Need Permit?	Subject to the following Guidelines/ Conditions
Laying of floor and/or wall finishes at sold recess area	No	Total thickness of floor finishes and screed must not exceed 50 mm. Total thickness of wall finishes including cement screed is not to exceed 25 mm. The surface of reinforced concrete member is not allowed to be hacked to form key for tiling <ul style="list-style-type: none"> ▪ Spatterdash or other equivalent shall be used to form key for tiling.
All other renovation items with sold recess area (for example, installation/replacement of grille/gate/door/awning/roof/windows/floor and wall finishes, topping up of floor and demolition/erection of non-load bearing walls, etc.)	Yes	Conditions/guidelines will be given for the renovation item upon evaluation/approval.

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Walls

Types of Building Work	Need Permit?	Subject to the following Guidelines/
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		Conditions
Erection of 63 mm thick hollow block wall	No	<p>Adequate natural lighting and ventilation must be provided if there is creation of habitable room.</p> <p>Fire escape route should be direct (for example, from bedroom door to main exit door) and should not pass through another room.</p>
Erection of 80mm thick glass block wall	No	<p>RC lintol shall be provided to support the hollow block across any opening in wall, if any (for example, window or door opening).</p> <p>Only one layer of 63 mm hollow block or 80 mm thick glass block is allowed to be erected.</p>
Erection of gypsum partition	No	<p>Adequate natural lighting and ventilation must be provided if there is creation of habitable room.</p> <p>Fire escape route should be direct (for example, from bedroom door to main exit door) and should not pass through another room.</p> <p>The penetration of power-driven nails or screws, if any, into existing RC structures must not exceed 40 mm.</p>
Demolition of non-load bearing reinforced concrete (RC) elements such as stiffeners, lintols and hangers etc.	Yes	<p>Flat owner needs to engage a <u>Professional Engineer (PE)</u> for Civil or Structural works to inspect and supervise the demolition works</p> <ul style="list-style-type: none"> ▪ This is to ensure that none of the load bearing reinforced concrete (RC) structural elements (for example, columns, beams, slabs and walls) are tampered or damaged in the course of the demolition process. <p>Note :</p> <p>i) All hacking/demolition of walls can only be carried out after obtaining HDB's prior approval.</p> <p>ii) Certain hacking/demolition of walls require joint inspection with HDB before commencement of work. HDB Registered Renovation Contractors will be informed of the requirement, where applicable.</p>
Construction of arches and/or rounded corners to existing opening	Yes	<p>Conditions/guidelines will be given for the renovation item upon evaluation/approval.</p>

Demolition (be it partially or fully)/alteration of internal non-structural lightweight concrete/hollow block/brick walls	Yes	[Note: Hacking/demolition of walls can only be carried out after obtaining HDB's prior approval. The demolition of the wall should commence from the top.]
Construction of opening in non-structural walls and/or at party wall between two flats	Yes	

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Kitchen

Types of Building Work	Need Permit?	Subject to the Following Guidelines/ Conditions
Extension of kitchen into the service balcony/yard without the removal of walls	No	<p>All services within extended areas should not be tampered with.</p> <p>Construction of cooking stove or/and cooking is/are not allowed in the original service balcony/yard.</p> <p>Installation of exhaust fan is not allowed at the service balcony/yard.</p> <p>Only one layer of 63 mm hollow block or 80 mm thick glass block is allowed to be erected for the sink support (see sketch Drawing 3).</p>
Construction of 50 mm thick concrete dapoh slab/vanity top supported by 63 mm thick hollow block walls with 50 mm cement mortar base inclusive of tile finishes	No	Concrete shelf is not allowed.
Tiling up of existing dapoh slabs	No	Not applicable.
Installation of built-in cupboard/cabinet	No	

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Refuse Chute Hopper

Types of Building Work	Need Permit?	Subject to the following Guidelines/ Conditions
Reducing/lowering of refuse chute hopper size within the existing opening	No	<p>Work to be carried out within the original refuse chute opening.</p> <p>A layer of red brick/hollow block or any</p>

other lighter materials are to be used to reduce the hopper size

- The maximum thickness of the red brick/hollow block used must not exceed 100 mm.

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Door/Gate

Types of Building Work	Need Permit?	Subject to the Following Guidelines/ Conditions
Painting main door (external)/metal grille gate in colour of lessee's choice	No	Not applicable.
Replacement of main entrance metal gates	No	No change to the existing leaves, size and shape of the gate.
Installation/replacement of main entrance gate to two-leaf swing gate of <u>different dimensions</u>	No	<p><u>Units situated along the common corridor:</u></p> <ul style="list-style-type: none"> ▪ There must be a minimum clearance of 1 metre measured from the gates to the corridor parapet wall (when the gates open perpendicularly to the corridor parapet wall).
Installation/replacement of main entrance gate to single-leaf swing gate	No	<p><u>Units situated adjacent to the staircase:</u></p> <ul style="list-style-type: none"> ▪ There must be a minimum clearance equivalent to the width of the staircase measured from the edge of the gate (when it opens at all angles) to the staircase railing.
Installation of arch shape main entrance swing gate	No	<p><u>Units situated at corner end:</u></p> <ul style="list-style-type: none"> ▪ The gate should not hit the neighbour's louvre windows.
Replacement of main entrance door and frame along fire escape route (ie for door opening into passageways such as staircases, lift lobbies)	Yes	The new entrance door and frame must be a half hour fire-rated door and frame with door closer (Note: The fire door and frame must have PSB label on the door/frame).
Replacement of main entrance <u>non-fire-rated</u> door and/or frame	No	Not applicable.
Replacement of existing internal doors with ornamental timber/plastic doors	No	
Replacement of door frames at all location for prefabricated flats	No	<p>The reinforced concrete wall is not allowed to be hacked or tampered with.</p> <p>Existing door frame should be removed by torch cutting or cutter.</p>

		<p>Upon removal of the door frames, a layer of waterproofing membrane must be applied to the affected area.</p> <p>The new door frame should be within the original door opening provided.</p>
Repositioning of internal door entrances	Yes	The new entrance should not be created through reinforced concrete wall.
Replacement of internal door frame (for non-prefabricated flats)	No	Not applicable.
Installation of sliding glass door/PVC folding doors to bathroom/w.c. and/or kitchen entrance without removal of reinforced concrete lintol/hanger (if any)	No	
Removal of sliding/swing doors without removal of reinforced concrete lintol/hanger (if any).	No	
[Note: This is not applicable for sliding/swing doors at balcony where windows installation is not allowed]		
Replacement of study room sliding doors with swing doors	No	

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False Ceiling

Types of Building Work	Need Permit?	Subject to the Following Guidelines/ Conditions
Installation of cornices and pelmet	No	Minimum clearance height of pelmet must be at least 2.1 metres measured from finished floor level.
Installation of false ceiling	No	Minimum clearance height of 2.4 metres measured from finished floor level. To use non-combustible materials.
Installation of decorative centre panel in non-prefabricated flat only	No	No gas pipe is allowed to be enclosed within the false ceiling. Power-driven nails of 6 mm diameter and not

		<p>exceeding 40 mm in penetration depth length are to be used for fixing of false ceiling to the underside of reinforced concrete slab.</p>
Installation of false ceiling in kitchen	No	<p>Minimum clearance height of 2.4 metres measured from finished floor level.</p> <p>To use non-combustible materials.</p> <p>No gas pipe is allowed to be enclosed within the false ceiling.</p> <p>Power-driven nails of 6 mm diameter and not exceeding 40 mm in penetration depth length are to be used for fixing of false ceiling to the underside of reinforced concrete slab.</p>
<p>Addition of false ceiling onto the existing false ceiling originally provided by HDB without changing the existing joists support system</p> <p>(applicable for horizontal false ceiling only)</p>	No	<p>Minimum height clearance of false ceiling must be 2.4 metres measured from finished floor level.</p> <p>False ceiling to be of non-combustible materials.</p> <p>No gas pipe is allowed to be enclosed within the false ceiling.</p> <p>Power-driven nails of 6 mm diameter and not exceeding 40 mm in penetration depth length are to be used for fixing of false ceiling to the underside of reinforced concrete slab.</p> <p>If installation is carried out at topmost floor with pitched roof</p> <ul style="list-style-type: none"> ▪ The proposed work should make use of original existing structural support. ▪ Proposed new joists, if any, is not allowed to be connected onto existing purlins which are not designed for the proposed work. ▪ Need to provide a minimum removable access opening of 600 mm x 600 mm for inspection and maintenance. ▪ Removal of roof ceiling originally provided by HDB (be it partially or fully) is strictly not allowed. <p>The layout, size and the support system of the new joists, if any, must be the same as the existing joists.</p>

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Staircase

Types of Building Work	Need Permit?	Subject to the following Guidelines/
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		Conditions
Replacement of existing staircase balustrades/railing in executive maisonette flats where there is a vertical drop in level of 1.0m or more	Yes	<p>Flat owner needs to engage a Professional Engineer (PE) for Civil or Structural works to submit building and structural plans for the proposed work to Building & Construction Authority (BCA)'s approval.</p> <p>Upon receiving BCA's approval, flat owner needs to submit the "BCA Approved Drawing" and "Permit to Carry Out Structural Works" issued by BCA to HDB for issuance of renovation permit.</p> <p><u>*Please refer to "Works require the engagement of Qualified Person (QP)" for more information.</u></p>
Erection of safety barrier on internal staircase or wall facing void of executive maisonette where there is a vertical drop in level of 1.0m or more	Yes	<p>Flat owner needs to engage a Professional Engineer (PE) for Civil or Structural works to submit building and structural plans for the proposed work to Building & Construction Authority (BCA)'s approval.</p> <p>Upon receiving BCA's approval, flat owner needs to submit the "BCA Approved Drawing" and "Permit to Carry Out Structural Works" issued by BCA to HDB for issuance of renovation permit.</p> <p>Existing effective width of staircase must be maintained.</p> <p><u>*Please refer to "Works require the engagement of Qualified Person (QP)" for more information.</u></p>
Covering up of slits void to internal staircase of executive maisonette to be used for decorative purpose only	No	<p>The thickness of hollow/glass blocks used should not exceed 63 mm and 80 mm respectively.</p> <p>There should be no increase in the gross floor area of the upper storey.</p> <p>The clear width of the void between bedroom and internal staircase must not exceed 350 mm (see sketch <u>Drawing 4</u>).</p> <p>The penetration of mild steel bars into existing reinforced concrete structures must not exceed 50 mm.</p>

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Awning

The table below has guidelines for the installation of awnings.

Types of Building Work	Need Permit?	Subject to the Following Guidelines/ Conditions
Installation of retractable canvas awning up to single storey height within balcony of double storey executive maisonette	No	Awning is to be fixed at the upper floor beam structure (Note: Fixing onto refuse chute wall is not allowed). The retractable awning should not protrude beyond the balcony
Installation of internal metal roller shutter/blind at window or single storey balcony opening [Note: This is not applicable at balcony where windows installation is not allowed]	No	Installation must not be fixed onto refuse chute wall.
Installation of roller shutter at double storey balcony [Note: This is not applicable for loft unit]	No	

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Clothes Drying Hanger

Types of Building Work	Need Permit?	Subject to the Following Guidelines/ Conditions
Installation of clothes drying hanger on ceiling in the kitchen/service yard	No	Power-driven nails of 6 mm diameter and not exceeding 40 mm in penetration depth are to be used (Note: Installation/replacement at air-conditioner ledge is not allowed).

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Fish Tank

Types of Building Work	Need Permit?	Subject to the Following Guidelines/ Conditions
Normal fish tank supported on a four-legged rack or cabinet	No	The maximum weight of the total number of fish tanks (inclusive of water, sand and accessories) must not exceed 600 kg per room.
Fish pond resting directly on the floor of size not bigger than 2m (6.5ft) length x 1m (3.2ft) width and the depth of water must not exceed 0.5m (1.6ft)	No	Lightweight fibreglass material should be used for the tank. The tank must be placed beside an existing wall supported on an existing beam below.

		It must have an overflow system to ensure that the water depth does not exceed 0.5m (1.6ft) (see sketch drawing).
All other types of fish tank or pond	Yes	Subject to HDB's evaluation and approval, flat owner shall submit the application to HDB Branch managing their flat stating the size, type, weight and location of the fish tank (see sample copy  .

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Household Shelter

General

The household shelter in your HDB flat is designed and constructed to serve also as a civil defence shelter in times of emergency. They are specially designed and well-prepared to protect you and your loved ones in an emergency. The household shelter has strengthened walls, floor and ceiling and a steel door.

Like the other structural components of the flat, the following cannot be hacked or drilled during any renovation:

- Reinforced walls
- Reinforced floor slab
- Ceiling
- Steel door

Certain finishes and fixtures are not permitted as they are not easily removable before an emergency. These may instead become hazards when you have to occupy the shelter during an emergency. Lighting, power point, telephone point and MATV outlet are also provided within the shelter. These are provided for you to communicate with the outside world.

Guidelines for Renovation in HDB Household Shelters (HS) Set Out By Singapore Civil Defence Force

Types of Building Work	Need Permit?	Subject to the Following Guidelines/ Conditions
Laying of floor tiles with cement mortar in household shelter	No	Tiles shall be bonded to the floor with wet cement mortar. Total thickness of floor finishes and screed must not exceed 50 mm. Laying of tiles using adhesive is not allowed. Laying of 2nd layer of tiles is not allowed.
Laying of vinyl or linoleum flooring	No	Not applicable.
Laying of maximum 100 mm floor skirting tiles with cement mortar in household shelter	No	Skirting tiles shall be bonded to concrete surface with wet cement mortar

		<p>Laying of tiles using adhesive is not allowed.</p> <p>Laying of 2nd layer of tiles is not allowed.</p>
Applying splatterdash or equivalent to the external face of HS wall only to provide rough surface for feature wall panels or wall tiles installation	No	Not applicable.
Painting of walls, ceiling or door	No	<p>Painting over the HS door notice, locking bolts or door seal is not allowed.</p> <p>The old paint coat on door and door frame are to be removed prior to repainting. This is to avoid an increase in paint thickness which will result in difficulties when closing and opening the door.</p> <p>The new paint coat must dried up completely before closing the door, as wet or damp paint will cause the door/rubber gasket to stick onto the door frame resulting in difficulty when opening the door.</p>
Painting on only the exterior face of the 6 mm fragmentation stainless steel plate of the ventilation sleeve	No	Not applicable.
Fixing of removable screws with non-metallic inserts not exceeding 50 mm deep for fixtures and equipment (for example, pictures, posters, cabinets, shelves, wall fan, ceiling lightings etc.)	No	<p>Such fixtures that are installed inside the HS will have to be removed by the owners within 48 hours upon notification.</p> <p>There is no restriction to the diameter of the non-metallic insert as long as it does not exceed 50 mm in length.</p> <p>It is the owner's responsibility to ensure that the strength of the insert is adequately provided for the intended purpose.</p>
Removal of the steel ventilation plate cover in the household shelter	No	<p>Steel plate (after removal) must be secured inside the shelter on one of the walls by using maximum 50 mm long removable screws in non-metallic inserts.</p> <p>After removal of the steel plate, the bolts and nuts must be installed back to the original position in its fully closed/locked positions.</p> <p>Up to 75% of the clear ventilation opening areas are allowed to be covered by removable aesthetics or architectural finishes or fixtures.</p>
Installation of false ceiling at the exterior of the HS at a level below the ventilation sleeves	No	There shall be one access panel of a minimum size of 600mm x 600mm to be provided directly below each ventilation

		sleeve. Comply with the conditions for installation of false ceiling as stated in this guide.
Power driven nails are allowed only on external face of the HS walls to facilitate flexibility in mounting of features/fixtures by owners	No	Not applicable.

Types of Work Not Permitted in HS

The following are not permitted in HDB flats:

- Laying of wall tiles or spray of rockstone finish, cement sand finish and gypsum plastering on the internal faces of HS walls including ceiling
- Laying of floor tiles using adhesive materials
- Laying of 2nd layer of tiles on floor or skirting tiles
- Installation of cornices within the HS
- Installation works with fixings using power driven nails into the internal HS walls
- Tampering with, removing or covering up of the HS door notice. The HS door notice provides important information to the occupants on the proper use of the HS
- Indiscriminate hacking and drilling of the HS walls, floor slabs and ceiling slabs, other than drilling into HS walls and ceiling slabs to affix removable screws on inserts, provided the depth of the insert shall not exceed 50 mm
- Hacking to both internal and external face of the household shelter walls to form key for tiling
- Hacking or indiscriminate drilling on external face of HS wall for mounting of feature wall panels or wall tiles installation
- Modifying, changing, removing or tampering of HS door
- Modifying, altering or tampering with any part of the ventilation openings, plates, and mounting devices such as bolts and nuts
- Painting to the interior face of the 6mm fragmentation stainless steel plate of the ventilation sleeve, ventilation sleeve, "O" ring rubber gasket and four or eight numbers of stainless steel bolts, which hold the steel plate to the sleeve

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Approved Rented Common Area

Types of Building Work	Need Permit?	Subject to the Following Guidelines/Conditions
Installation of grille gate at the entrance of the common area	No	Grille gate with one-way locking device opening outward without use of a key.
Installation of metal grille panel	No	Metal grille panel must not be more than 1 metre wide on the parapet wall adjacent to the entrance gate for security purpose.
Construction of cement mortar kerb at threshold of entrance gate	No	Cement mortar kerb should not exceed 100 mm in height and 100 mm in width.
Laying/Replacement of finishes at corridor walls and floor	No	Existing floor finishes including cement screed must be removed.

excluding scupper drain		<p>Total thickness of new floor finishes and cement screed must not exceed 50 mm.</p> <p>Total thickness of wall finishes and cement screed must not exceed 25 mm.</p> <p>Surface of reinforced concrete floor or wall is not allowed to be hacked. Spatterdash or other equivalent shall be used to form key for tiling on wall.</p> <p>There should be a free flow of water to existing scupper drain or waste water outlet is not obstructed.</p>
Re-siting refuse chute stopcock outside the rented common area	No	<p>Existing reinforced concrete structure is not allowed to be tampered with.</p> <p>Prior approval must be obtained from Town Council.</p>
Installation of false ceiling at rented common area	No	<p>Minimum height clearance of false ceiling must be 2.4 metres measured from finished floor level.</p> <p>False ceiling to be of non-combustible materials.</p> <p>Use power-driven nails of 6 mm diameter and not exceeding 40 mm in penetration depth length for fixing false ceiling to the underside of reinforced concrete slab.</p>

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Others

Types of Building Work	Need Permit?	Subject to the Following Guidelines/ Conditions
Installation of safe not exceeding 150 kg	No	Not applicable.

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Last Updated on 15 Sep 2014